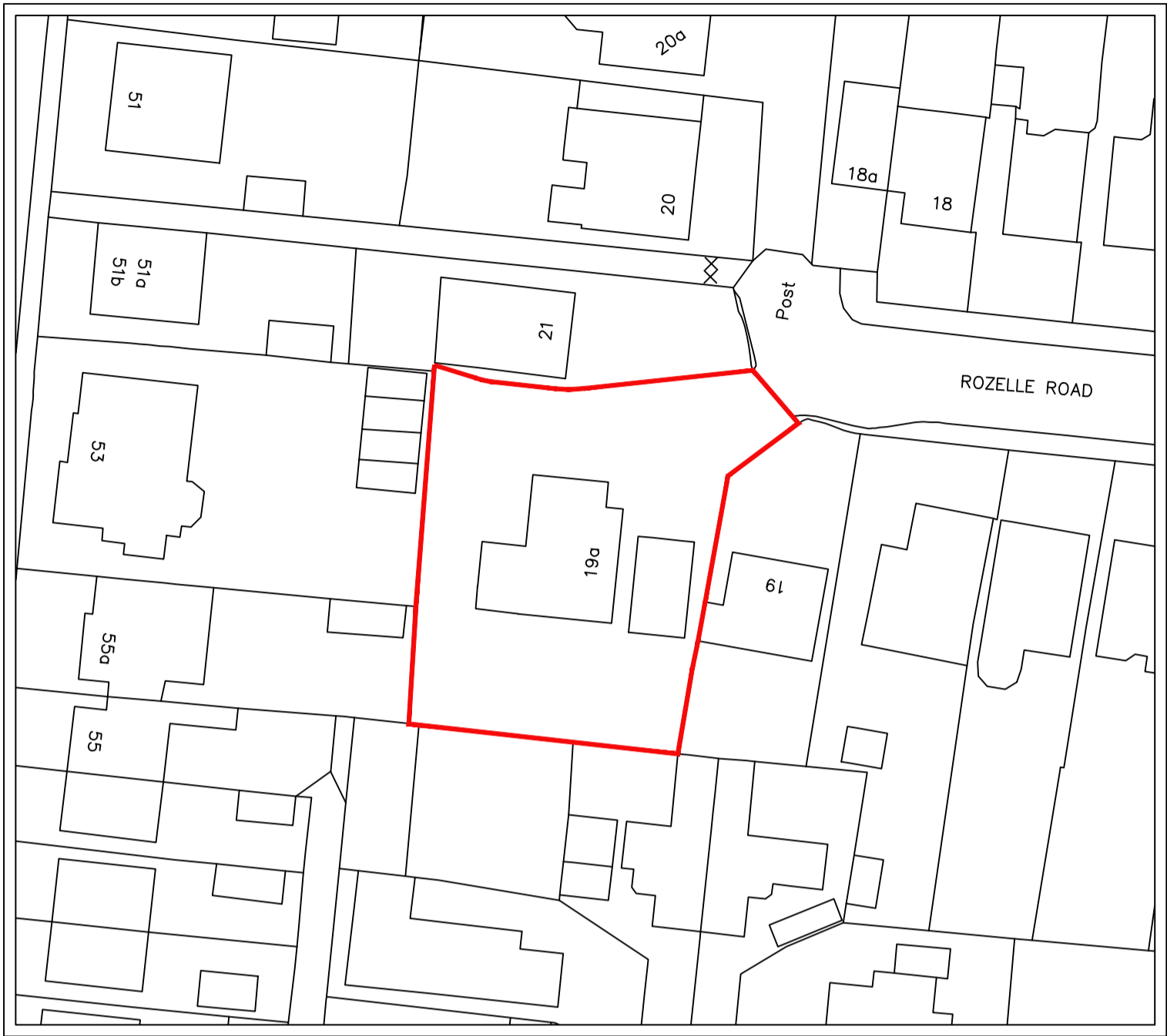


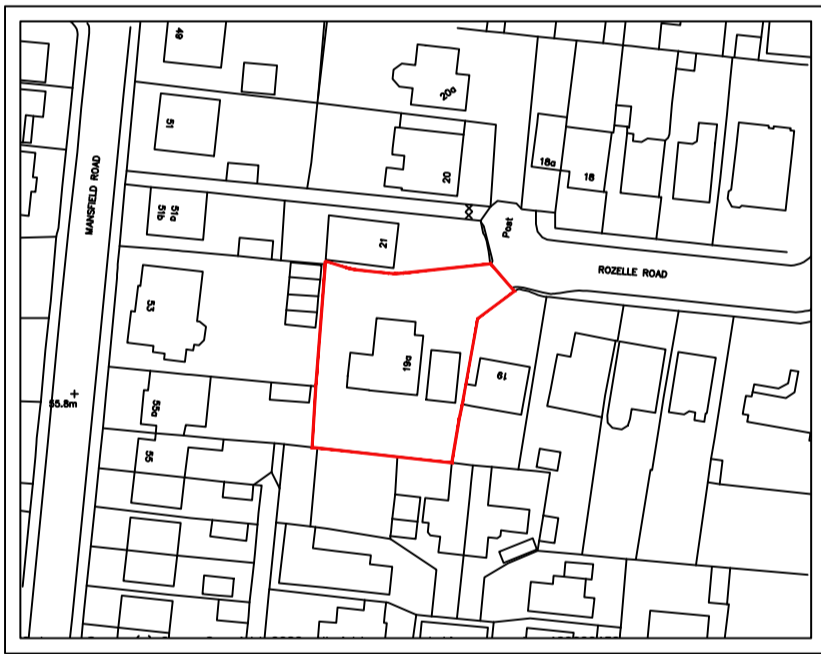
10m @ 1:100



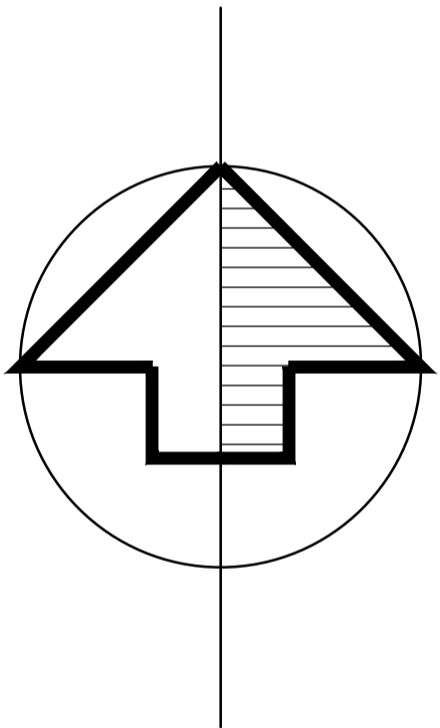
SITE PLAN
SCALE 1:200
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



BLOCK PLAN
SCALE 1:500
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



LOCATION PLAN
SCALE 1:1250
BASED ON O.S INFORMATION
O.S LICENCE NUMBER 100007080



NOTES-PLANNING

rev-19-05-22

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- Site design to be independently checked by stair fabricator for regs. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- Macromon waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing design. - ARC carry no responsibility of fit cover for basement design in terms of waterproofing or structure in any way.
- A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
- We take no responsibility for the depicted site ownership boundary. Clients must notify us if they feel the our plans do not accurately depict their ownership or area of control for planning purposes.
- We do not take responsibility for meeting minimum space as setout in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be at A1 fire rated.
- NOTE: We do NOT take any responsibility and do not carry any PI cover in relation to any matters relating to the safety, Part B building regulations, BS 9991 for fire or EWS1 and drawings in no way form a fire strategy/ report. All design/ details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant/ Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
- EWS1: on independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EWS1's on buildings outside of the EWS1 standard criteria.
- Part B & Fire Safety: An independent and appropriately qualified fire consultant should be instructed by the client/contractor at the earliest possible point in the design process to ensure compliance with Part B & Fire safety. Please note that subject to a fire consultants confirmation/input the following points may be required in some or all areas of the building: 1) Sprinkler systems (Domestic or commercial) 2) Mechanical smoke extraction 3) Heat and fire safety glass 4) plan changes in relation to the safety could result in loss of usable floor area and potential requirement for additional planning applications. (this list is not exhaustive)

LEGEND

- SITE BOUNDARY
- EXISTING BUILDING TO BE DEMOLISHED
- OUTLINE OF PREVIOUSLY APPROVED APPLICATION
- INDICATIVE PLANTING
- BIN STORAGE SLABS

SITE AREA: 0.07 HECTARES / 0.17 ACRES

3 X 3 BEDROOM HOUSES

1 X PARKING SPACE PER UNIT

PROPOSED GIA ACROSS SITE @ 309.3 SQM

EXISTING GIA ACROSS SITE @ 131.4 SQM

C.	CYCLES AMENDED	05.01.23	JA
B.	MINOR AMENDMENT	29.11.22	JA
A.	REVISED FLOOR PLANS SHOWN ON SITE	09.11.22	JA

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
19A ROZELLE ROAD,
POOLE,
DORSET,
BH14 0BX.

SITE, BLOCK AND LOCATION PLAN

scale	AS SHOWN @ A1	checked
date	OCTOBER 2022	drawn JA
9654 / 100		A B C

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



DESIGNERS RISK ASSESSMENT

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

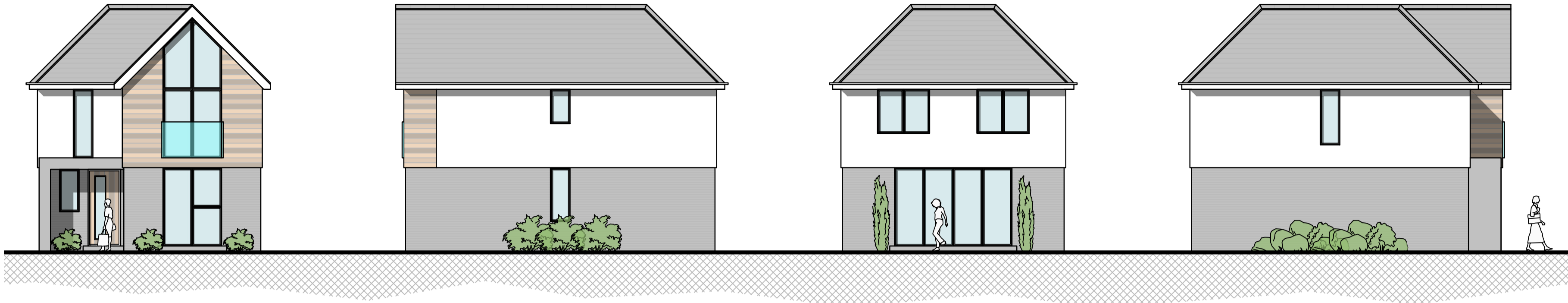
For significant hazards specific to this project see the following:

GENERAL NOTES:

- Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers and or Principal Contractor carrying out the next phase of works on this site.

INFORMATION	CONSTRUCTION RISKS	PLACEMENT OF ROOF FEATURES (SOLAR PANELS / AOV'S / PLANT ETC)	MAINTENANCE RISKS	CLEANING WINDOWS	FLAT ROOF ACCESS	IN - USE RISKS
CDM - PRE-CONSTRUCTION INFO FROM CLIENT CDM Information requested from client: 1) Topographical Survey Outstanding CDM Information remains as residual risk, please request ARC appendix C for full list requested. DESIGN INFORMATION Further design info to be provided at subsequent stages of design / building regulations process	PROPOSED BUILDING IN CLOSE PROXIMITY TO BOUNDARY WORKING AT HEIGHT LARGE / HEAVY GLAZING UNITS UNKNOWN UNDERGROUND SERVICES Location and nature of all existing underground services to be ascertained and mitigation / plan of works to be devised by specialist prior to commencement.	FLAT ROOF ACCESS Roof access for construction to be undertaken by specialist using specialist equipment. e.g. scaffolding, appropriately designed and installed man safe system by specialist designer. SOLAR PANELS Solar panels to be positioned as far from edges of flat roof as feasibly possible. PLACEMENT OF SUDS When positioning heavy machinery - The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan	SOLAR PANELS CHANGING LIGHT BULBS No lighting or electrical fixtures or fittings to be positioned above or close to double height space. or lighting or electrical fixture above double height space to be maintained by specialist contractor using safe method e.g. scaffolding or lowering light fitting.	Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems. Sliding glazing to balcony's can be cleaned from balcony CLEANING GUTTERS Gutters to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems where possible. Parapets and valleys to be accessed when required via scaffolding - to be assembled by a specialist.	Plant or apparatus on the roof to be kept to a minimum and positioned away from edges/ potential falls. Roof access for maintenance to be undertaken by specialist using specialist equipment. e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.	GAS PRESENCE Potential for presence of Gas (various types) to be investigated. If present, specialist to provide design to negate. DEMOLITION RISKS REFURBISHMENT AND DEMOLITION SURVEY Hazardous material survey to undertaken prior to any on site works commencing - including stripping out.

10m @ 1:100

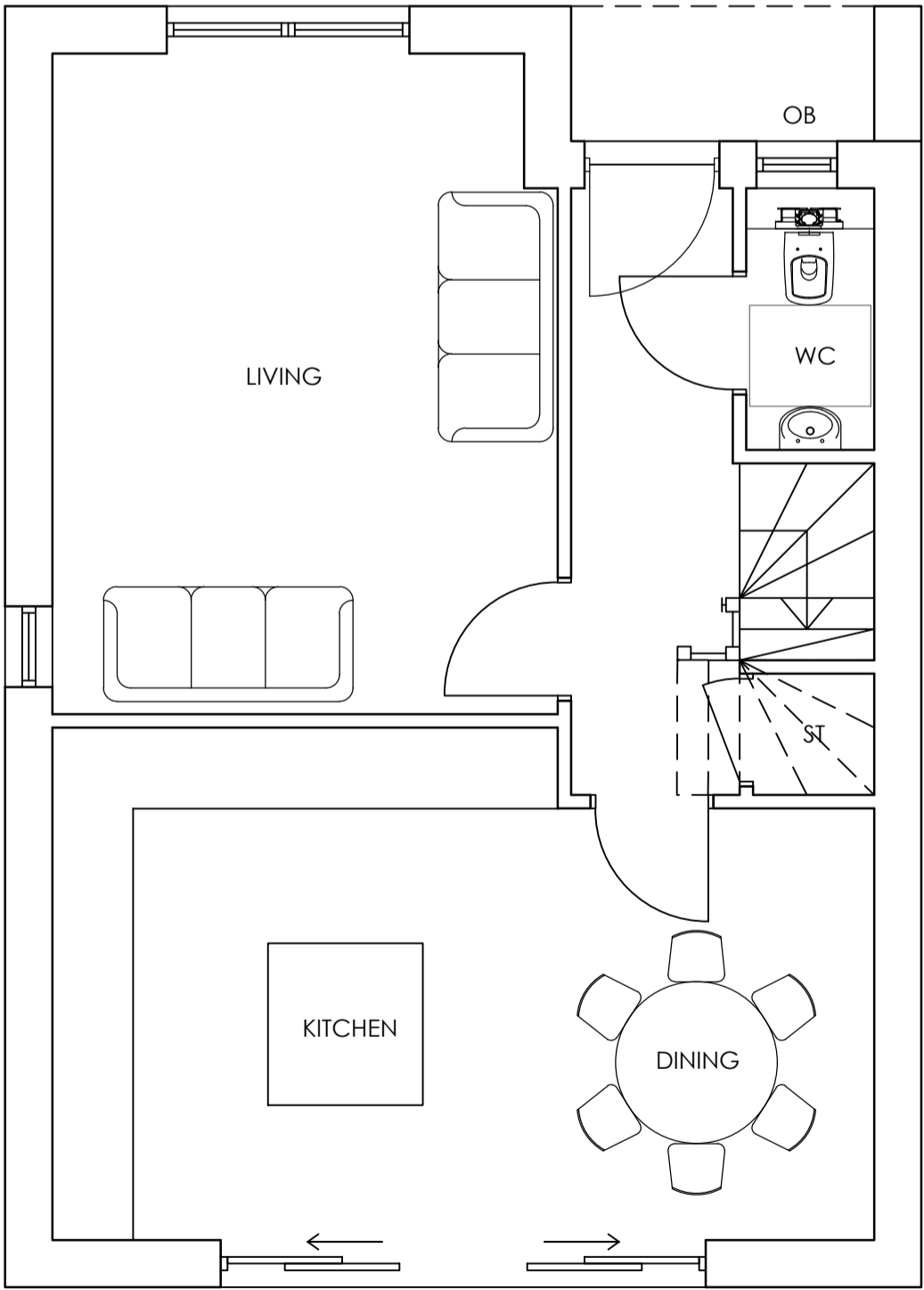


NORTH ELEVATION
SCALE 1:100

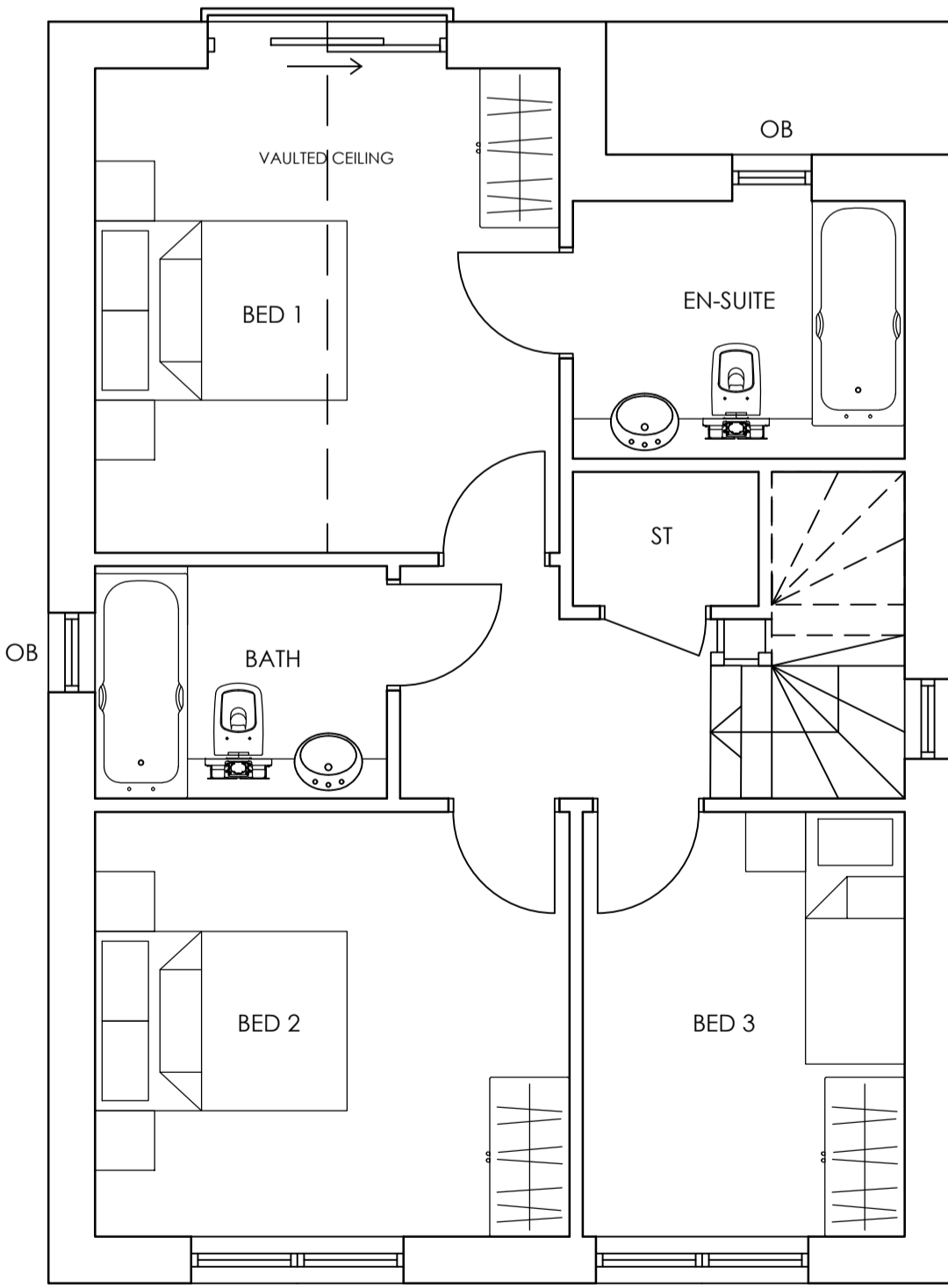
WEST ELEVATION
SCALE 1:100

SOUTH ELEVATION
SCALE 1:100

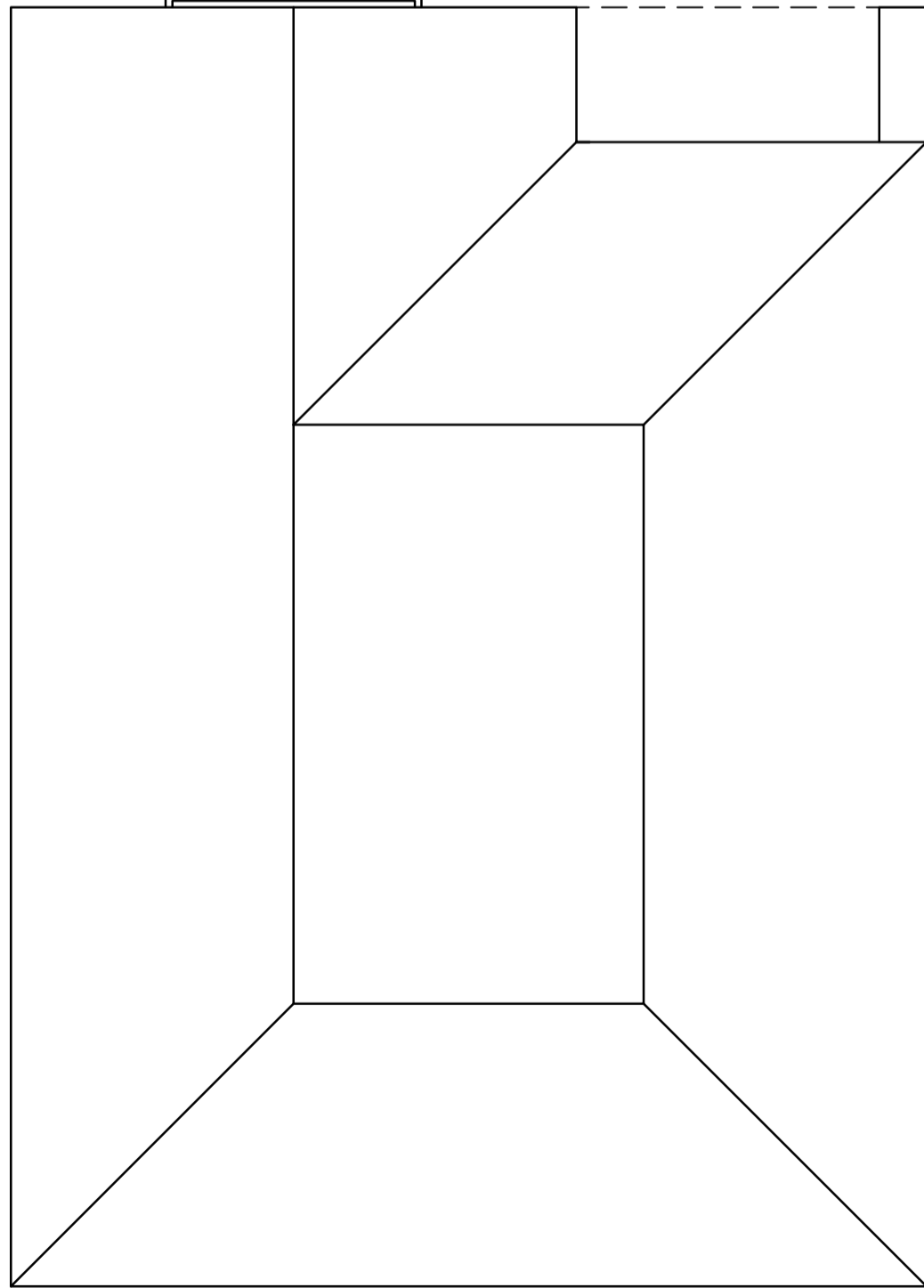
EAST ELEVATION
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:50



FIRST FLOOR PLAN
SCALE 1:50



ROOF PLAN
SCALE 1:50

NOTES-PLANNING

rev-19-05-22

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- We do not take responsibility for meeting minimum space as setout in Government Technical housing standards - nationally described space standards document.
- All Cladding & building attachments externally to be at A1 fire rated.

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MATERIALS SCHEDULE:

EXTERNAL WALLS:- SAND & CEMENT RENDER PAINTED WHITE
DARK GRAY ENGINEERING BRICK
TIMBER BOARDING

BALCONIES:- .OBSCURED GLAZING

WINDOWS & DOORS:- . GREY ALUMINIUM

ROOF:- .SLATE EFFECT TILES

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should be agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)

3 BEDROOM HOUSE @ 103.1 SQM / 1109 SQFT

B.	CLIENTS COMMENTS	09.11.22	JA
A.	CLIENTS COMMENTS	09.11.22	JA

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
19A ROZELLE ROAD,
POOLE,
DORSET,
BH14 0BX.

UNIT 1:
PROPOSED FLOOR PLANS & ELEVATIONS

scale	AS SHOWN @ A1	checked
date	OCTOBER 2022	drawn JA

9654 / 101

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



10m @ 1:100

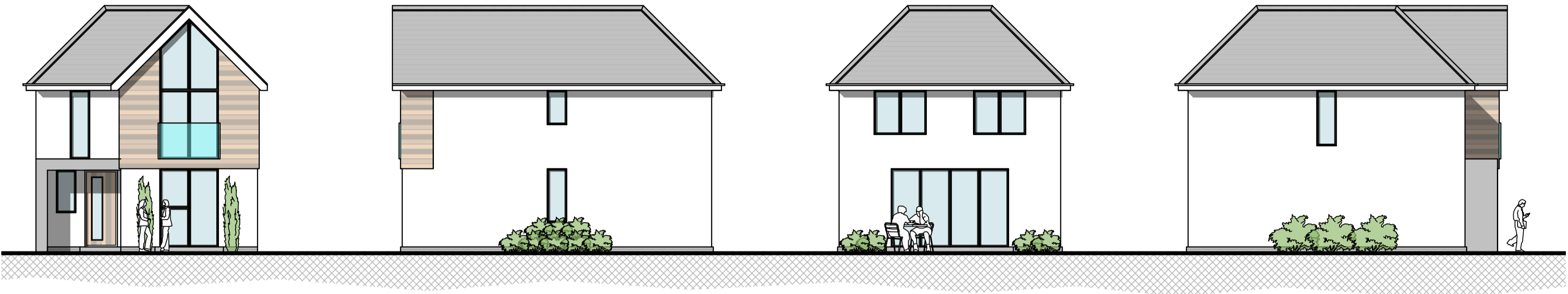


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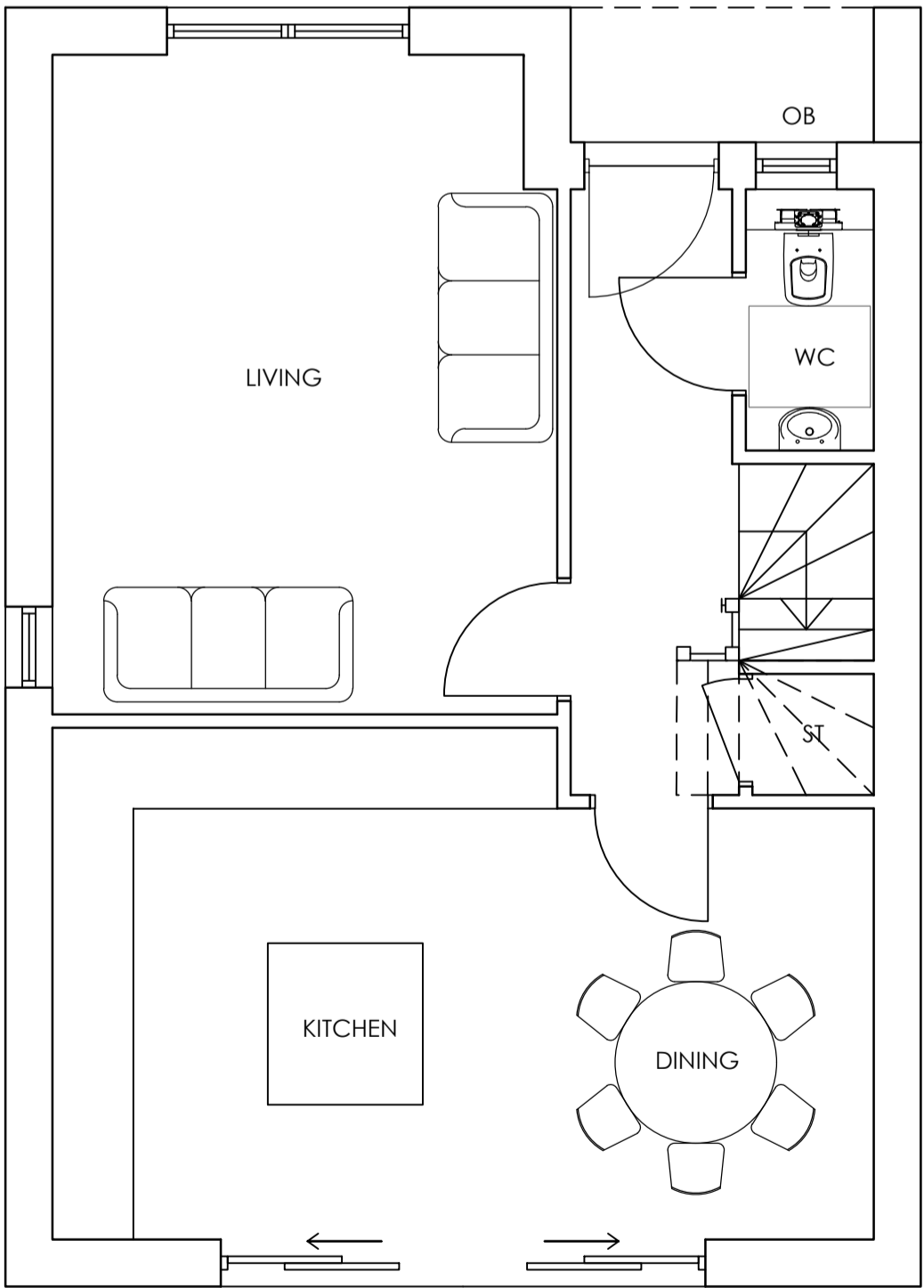


NORTH ELEVATION
SCALE 1:100

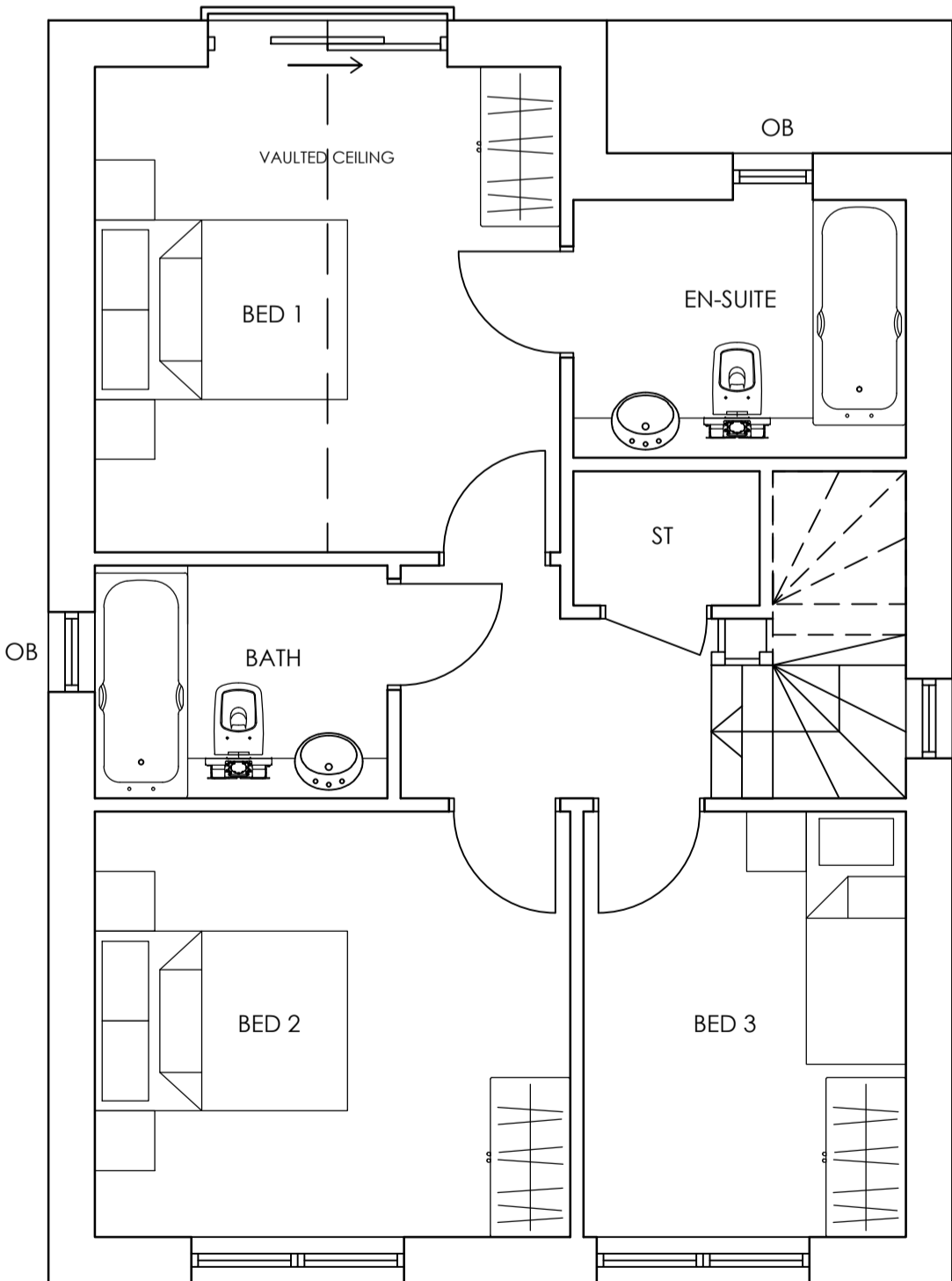
WEST ELEVATION
SCALE 1:100

SOUTH ELEVATION
SCALE 1:100

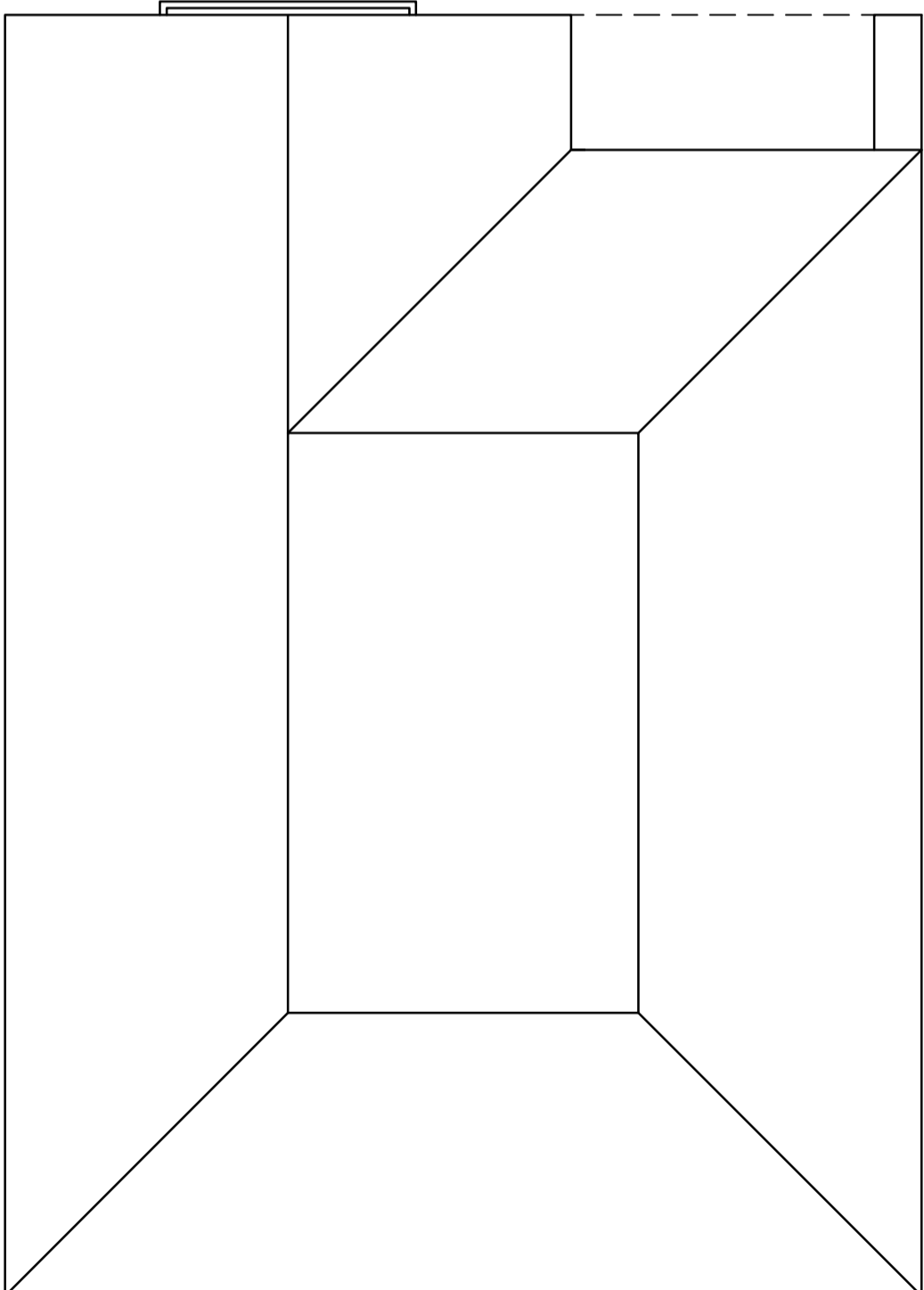
EAST ELEVATION
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:50



FIRST FLOOR PLAN
SCALE 1:50



ROOF PLAN
SCALE 1:50

MATERIALS SCHEDULE:

EXTERNAL WALLS:- SAND & CEMENT RENDER PAINTED WHITE
DARK GRAY ENGINEERING BRICK
TIMBER BOARDING

BALCONIES:- . OBSCURED GLAZING

WINDOWS & DOORS:- . GREY ALUMINIUM

ROOF:- . SLATE EFFECT TILES

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)

3 BEDROOM HOUSE @ 103.1 SQM / 1109 SQFT

B.	CLIENTS COMMENTS	09.11.22	JA
A.	CLIENTS COMMENTS	09.11.22	JA

No.	Revision.	date	by
-----	-----------	------	----

PROPOSED DEVELOPMENT,
19A ROZELLE ROAD,
POOLE,
DORSET,
BH14 OBX.

UNIT 2:
PROPOSED FLOOR PLANS & ELEVATIONS

scale	AS SHOWN @ A1	checked
date	OCTOBER 2022	drawn JA

9654 / 102

ARC Architecture ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



10m @ 1:100



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- 11B. We do not take any responsibility and do not carry any PI cover in relation to any matters relating to fire safety. Part B building regulations, BS 991 for fire or EWS1 and drawings in no way form a fire strategy/ report. All design details relating to Fire Safety are shown for indicative purposes only and should be read in conjunction with the latest version of the Appointed Fire Consultant's Fire Strategy Document/ Report - all information contained in such a report supersedes ARC drawings in all aspects. No assumption of any responsibility is accepted. If you are unaware who the appointed fire consultant is or don't have a copy of the latest version of the report please contact arc in writing immediately.
- EW51: on independent and an appropriately qualified and insured fire consultant/engineer should be appointed by the client/contractor to ensure the finished project is compliant. Some mortgage companies require EW51's on buildings outside of the EWS1 standard criteria.
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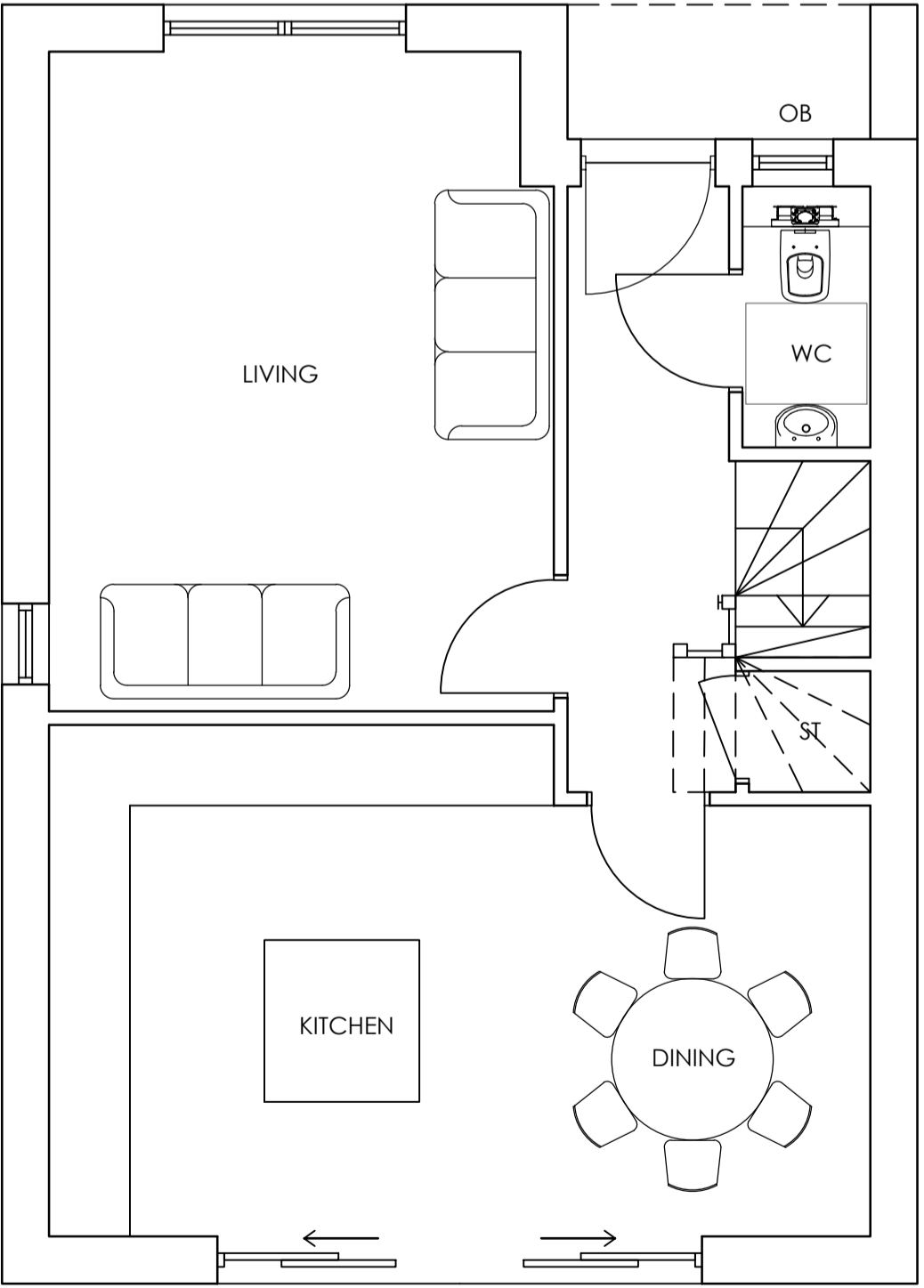


NORTH ELEVATION
SCALE 1:100

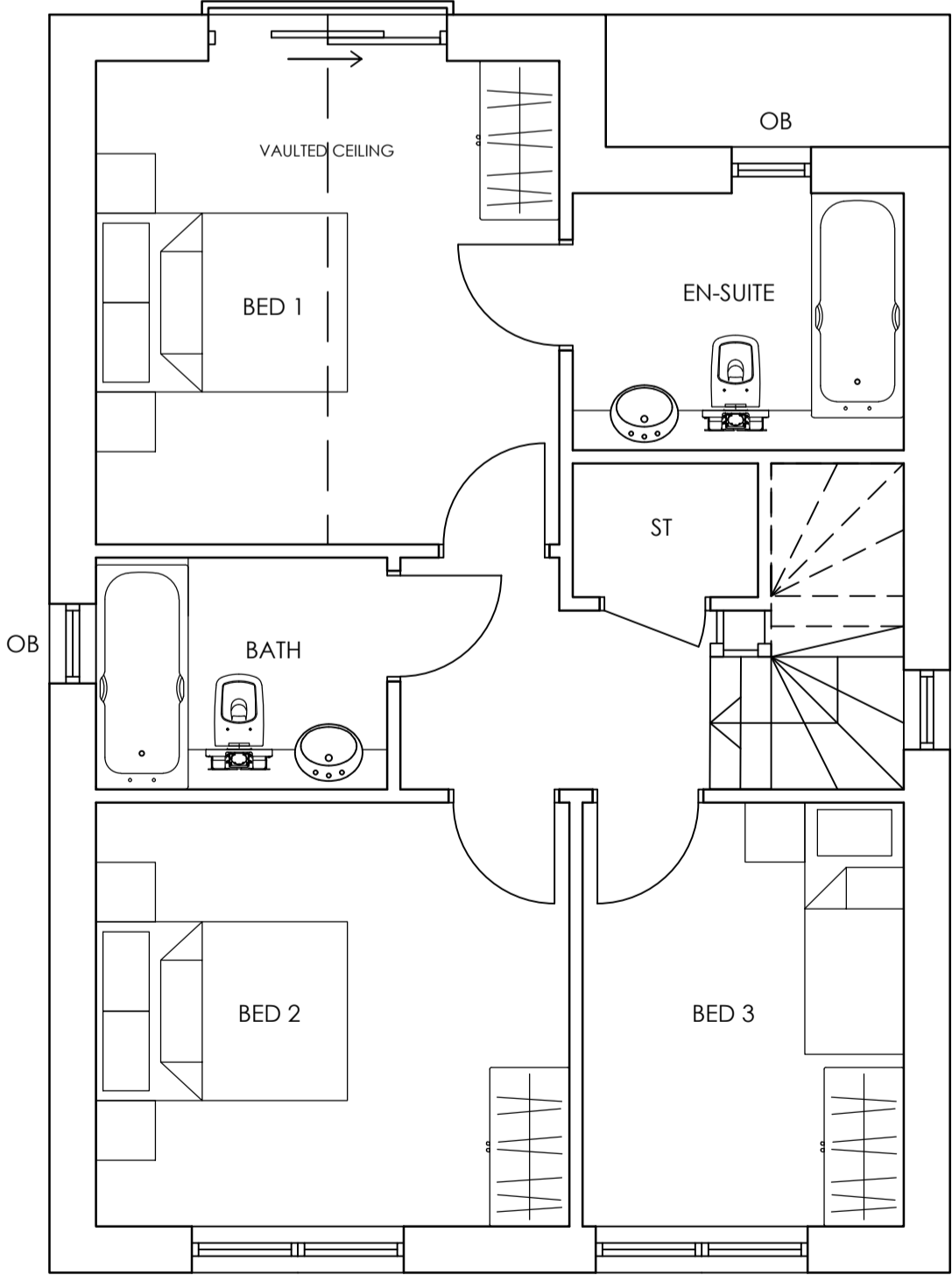
WEST ELEVATION
SCALE 1:100

SOUTH ELEVATION
SCALE 1:100

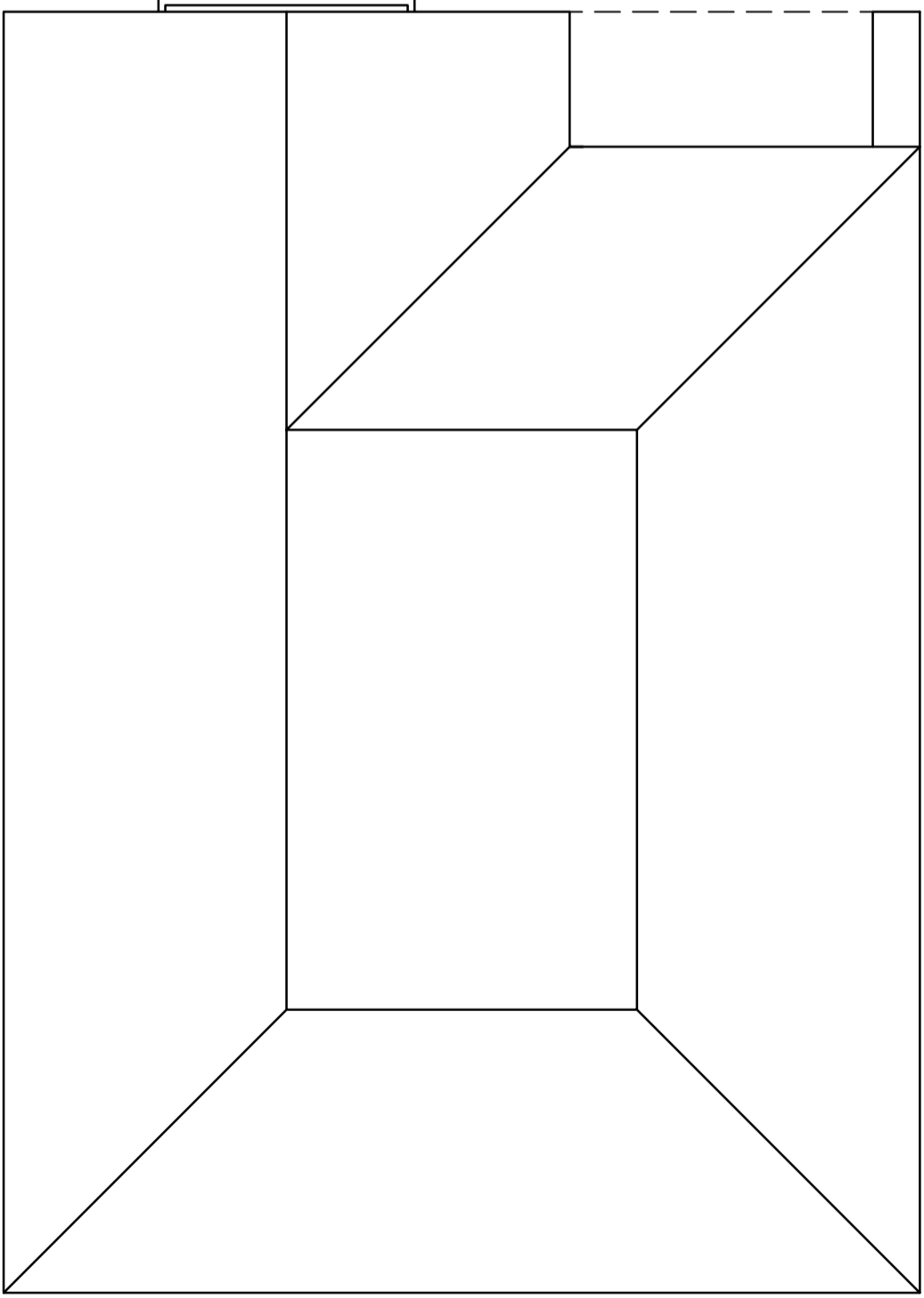
EAST ELEVATION
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:50



FIRST FLOOR PLAN
SCALE 1:50



ROOF PLAN
SCALE 1:50

MATERIALS SCHEDULE:

EXTERNAL WALLS:-	SAND & CEMENT RENDER PAINTED WHITE DARK GRAY ENGINEERING BRICK TIMBER BOARDING
BALCONIES:-	OBSCURD GLAZING
WINDOWS & DOORS:-	GREY ALUMINIUM
ROOF:-	SLATE EFFECT TILES

Note: All materials to be confirmed by fire consultant prior to construction. The above material choices are for planning/aesthetic purposes only and confirmation of fire performance should agreed with specialist. (fixing system behind cladding should also be non combustible A1 or A2 rated and agreed with fire consultant)

3 BEDROOM HOUSE @ 103.1 SQM / 1109 SQFT			
B.	CLIENTS COMMENTS	09.11.22	JA
A.	CLIENTS COMMENTS	09.11.22	JA
No.	Revision.	date	by

PROPOSED DEVELOPMENT,
19A ROZELLE ROAD,
POOLE,
DORSET,
BH14 0BX.

UNIT 3:
PROPOSED FLOOR PLANS & ELEVATIONS

scale	AS SHOWN @ A1	checked
date	OCTOBER 2022	drawn JA
	A B	

9654 / 103

ARC Architecture ltd.

1. The client/contractor shall ensure that the drawings are not used for planning purposes and no reliance on compliance with Building Regulations should be made.
2. Planning drawings are only to be used for planning purposes and no reliance on compliance with Building Regulations should be made.
3. Do not scale. Figure dimensions only to be used.
4. Construction must meet all dimensions and report any discrepancies before putting work in hand or making any final covering.
5. All flat roofs to be fixed with a rain water system to satisfy CEN 1253 regulations unless written confirmation from the Local Planning Authority is provided to show alternative compliance has been sought and approved.
6. All design to be independently checked by a structural engineer for compliance and design prior to construction. Information to be included in the design.
7. All services (waterproofing, gas, electricity, etc.) to be installed in accordance with the relevant regulations and standards.
8. All design to be independently checked by a structural engineer for compliance and design prior to construction. Information to be included in the design.
9. We have no responsibility for the design of the building. Claims must notify us if they have the design and we will not be responsible for any damage or loss of any kind.
10. We do not take responsibility for meeting minimum space in relation to Government Technical Building Standards. Minimum specified space should be used.
11. All building & heating plans must be submitted to us in full. No other.

12. All building & heating plans must be submitted to us in full. No other.

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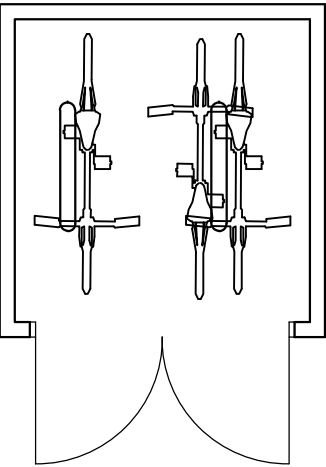
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FLOOR PLAN
SCALE 1:50



FRONT ELEVATION
SCALE 1:100

SIDE ELEVATION
SCALE 1:100

REAR ELEVATION
SCALE 1:100

SIDE ELEVATION
SCALE 1:100

No.	Revision.	date	by
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PROPOSED DEVELOPMENT,
19A ROZELLE ROAD,
POOLE,
DOREST,
BH14 0BX.

TYPICAL CYCLE STORE

scale	AS SHOWN @ A4	checked	
date	JANUARY 2023	drawn	JA

9654 / 106

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